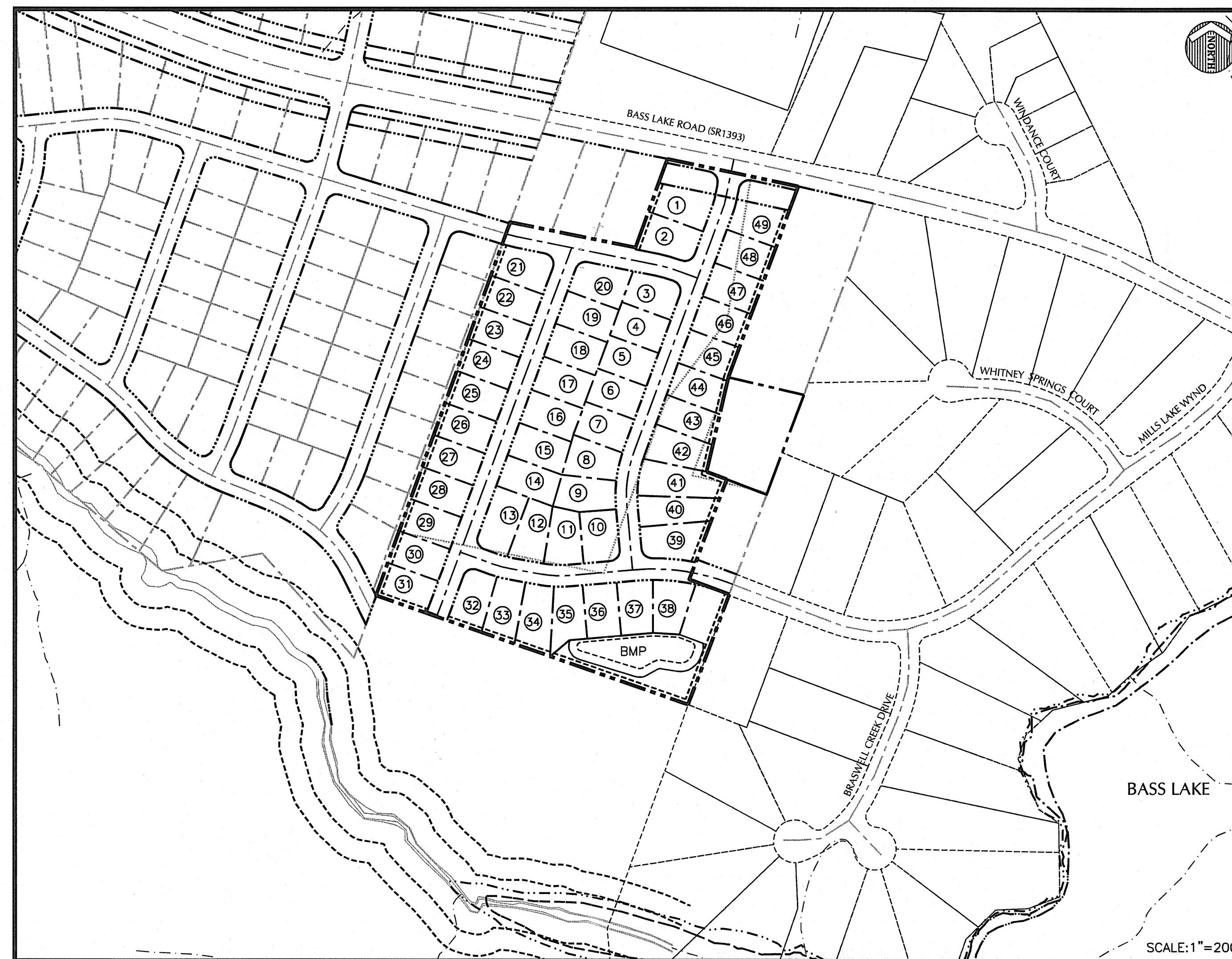
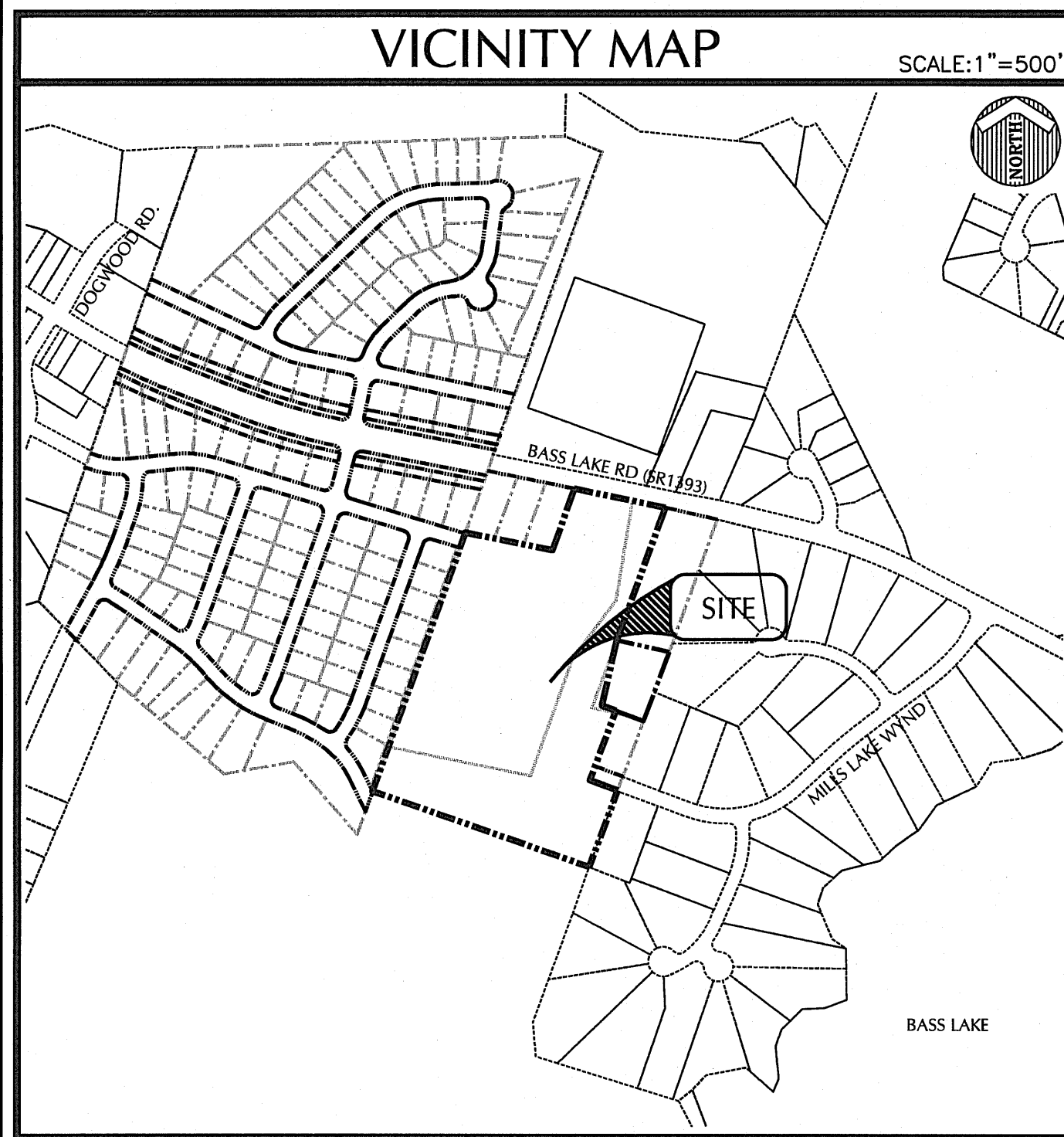


# PRELIMINARY PLANS FOR LOGAN'S MANOR

TOWN OF HOLLY SPRINGS, NC  
TOHS PROJECT NO. # 12-MAS-04

DECEMBER 31, 2012  
LAST REVISED MARCH 8, 2013



### SITE DATA

OVERALL AREA	16.6 ACRES
PROPOSED NUMBER OF LOTS	49
PROPOSED DENSITY	2.95 DU/AC.
PIN NUMBERS	0658-69-0331 0658-68-1999
EXISTING ZONING	R-20
PROPOSED ZONING	R-10
MINIMUM LOT AREA	10,000 SF
AVERAGE LOT AREA	10,525 SF
MINIMUM LOT WIDTH	70 LF
MINIMUM LOT DEPTH	100 LF
SETBACKS	
THOROUGHFARE	50 FT
LOCAL STREET	20 FT
FRONT	20 FT
REAR	25 FT
SIDE	6 FT

PROJECT CONSTRUCTION SCHEDULED FOR SUMMER 2013

PLAN IS SUBJECT TO REVISIONS DURING CONSTRUCTION DRAWING APPROVAL PROCESS. CONSTRUCTION DRAWING APPROVAL IS REQUIRED BEFORE CONSTRUCTION ON THIS PROJECT MAY BEGIN. DEVELOPMENT FEES ARE DUE BEFORE CONSTRUCTION DRAWING APPROVAL. ALL CONSTRUCTION SHALL CONFORM TO TOWN OF HOLLY SPRINGS ENGINEERING DESIGN AND CONSTRUCTION STANDARDS.

### SURVEY BENCHMARK NOTE

BENCHMARK IS NC GRID MONUMENT "BOBBER"  
NAD 83, N690,239.78/E2,054,787.60  
DRAWING BASED ON SURVEY BY PORT CITY GEOMATICS, LTD.  
ENTITLED "BOUNDARY SURVEY OF 634 BASS LAKE ROAD  
EDDIE LEE FAULK PROPERTIES" DATED AND SIGNED 12/20/12

### INFRASTRUCTURE DATA

UNITS	STREETS LF	6" WATER MAIN LF	8" WATER MAIN LF	8" SEWER MAIN LF	STORM DRAINAGE LF	SEWER FLOW GPD	SIDEWALK LF
49	3,035	90	3,040	3,180	2,350	12,495	3,160

No.	Revision	Date	By
1	REV. PER TOHS COMMENTS 1ST REVIEW	01/28/13	NJA
2	REV. PER TOHS COMMENTS 2ND REVIEW	02/11/13	NJA
3	REMOVED ONE LOT PER CLIENT REQUEST	03/08/13	NJA

### INDEX OF SHEETS

SITE PLAN	SHT 1
UTILITY PLAN	SHT 2
GRADING PLAN	SHT 3
BMP 1 STORMWATER MANAGEMENT PLAN	SHT 4
LANDSCAPE PLAN	SHT 5

### DEVELOPER

WEB FORMATIONS INC.  
8921 HALFMOON COURT, APT. 201  
RALEIGH, NORTH CAROLINA 27613  
(P) 919.492.1717 | (F) 919.743.0030  
ATTN: EDWARD BRANTLEY

### OWNERS

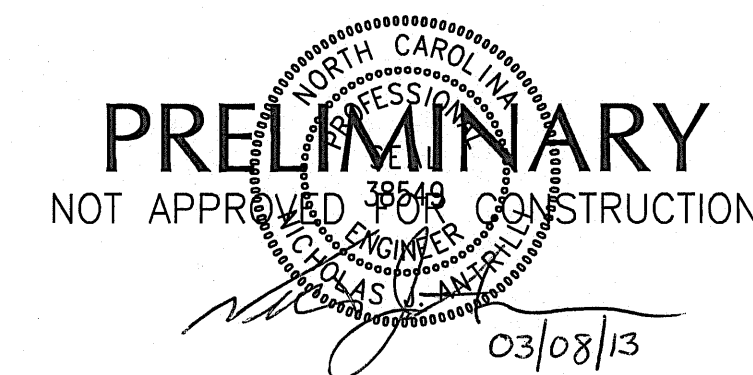
WEB FORMATIONS INC.  
8921 HALFMOON COURT, APT. 201  
RALEIGH, NORTH CAROLINA 27613  
(P) 919.492.1717 | (F) 919.743.0030  
ATTN: EDWARD BRANTLEY

TRIANGLE GROWTH CAPITAL LLC.  
310 BEACH RD N  
WILMINGTON, NORTH CAROLINA 28411  
ATTN: EDWARD BRANTLEY

PREPARED BY:

**WITHERS & RAVENEL**  
ENGINEERS | PLANNERS | SURVEYORS

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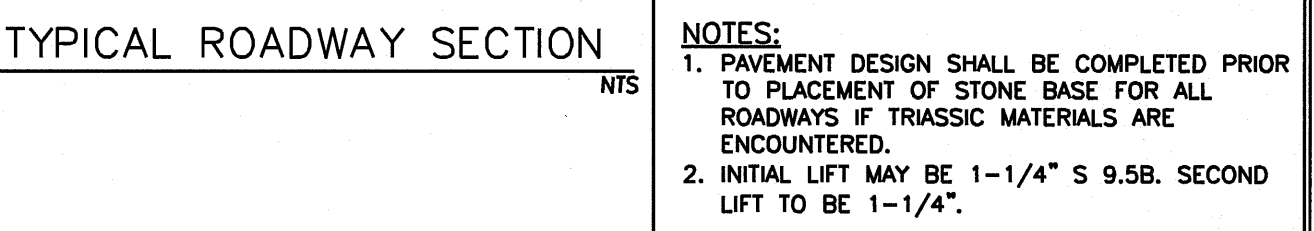
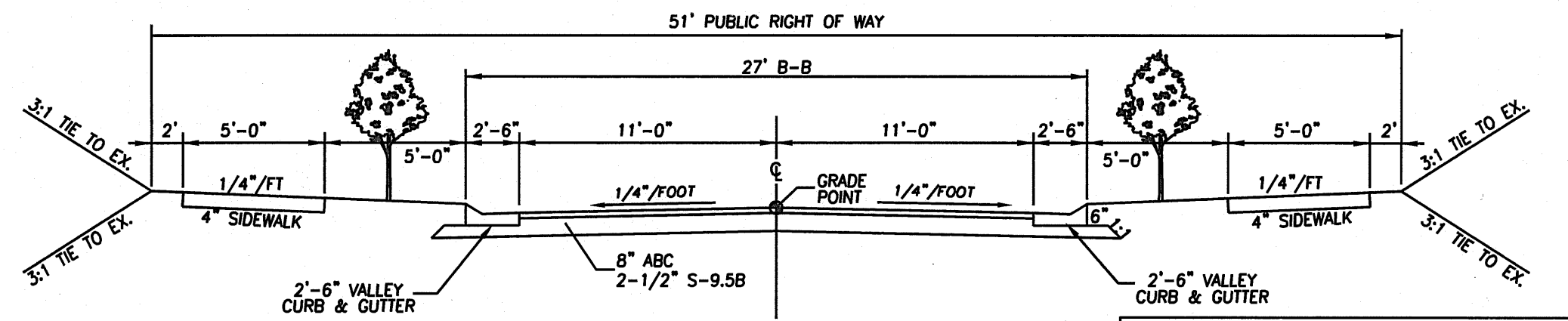


LINE TABLE			
LINE	BEARING	DISTANCE	
L1	S11°44'17"W	97.48'	
L2	S20°06'18"W	602.78'	
L3	S5°00'06"E	149.18'	
L4	N69°53'42"W	51.84'	
L5	N78°42'36"W	337.48'	
L6	N73°11'27"W	6.87'	
L7	S69°53'42"E	121.00'	
L8	S69°53'42"E	79.57'	
L9	S79°53'42"E	74.54'	
L10	N84°59'54"E	153.85'	
L11	S69°29'40"E	12.03'	
L12	S2°06'18"W	918.91'	

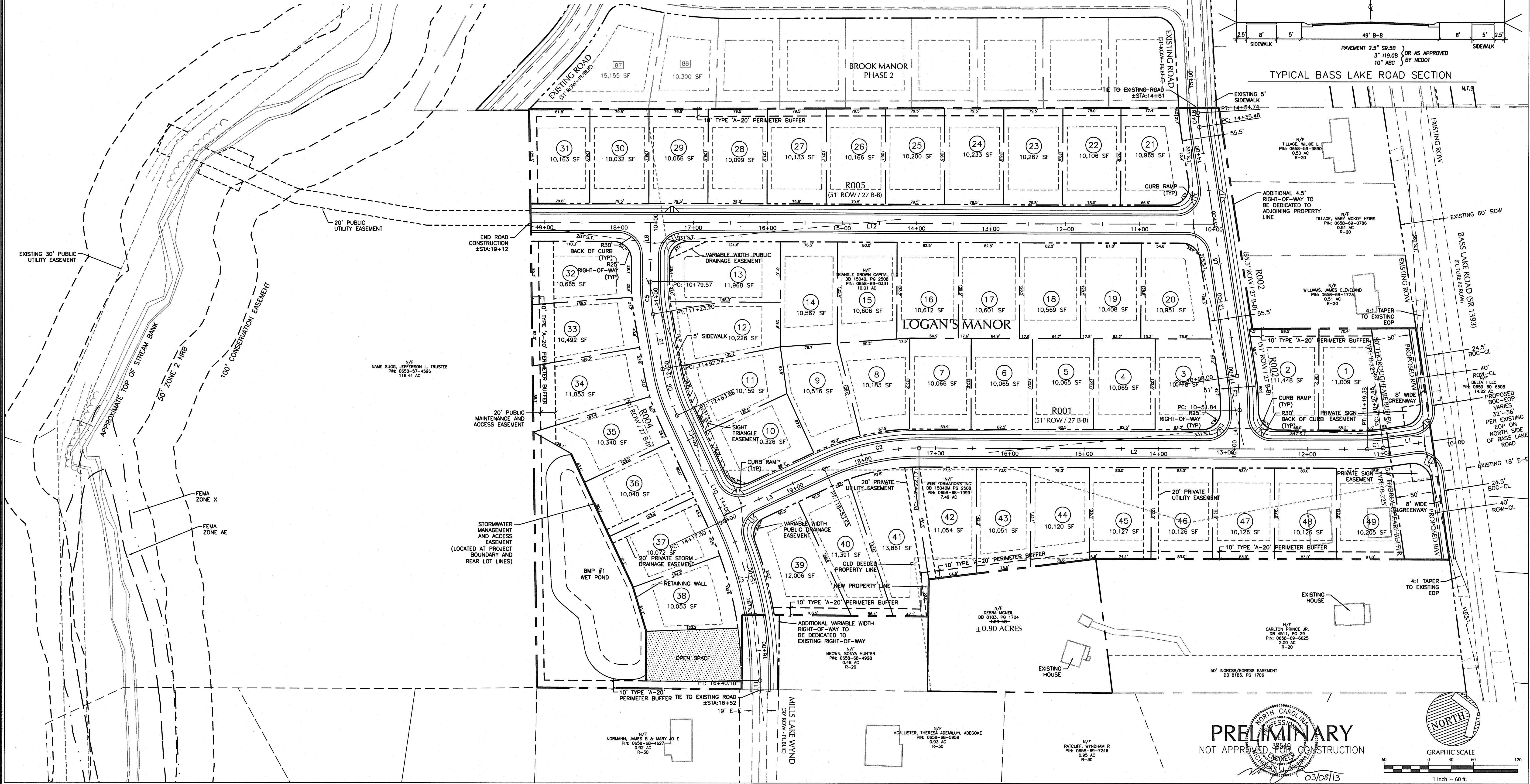
CURVE TABLE				
CURVE	RADIUS	LENGTH	CHORD	BEARING
C1	150.00'	21.90'	21.89	S15°55'18"W
C2	300.00'	131.46'	130.41	S73°33'06"W
C3	300.00'	46.16'	46.11	N74°18'09"W
C4	200.00'	19.27'	19.26	N75°57'01"W
C5	250.00'	43.63'	43.58	S74°53'42"E
C6	250.00'	65.92'	65.73	S87°26'54"E
C7	500.00'	222.59'	220.76	S82°14'53"E

- GENERAL NOTES:**
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE TOWN OF HOLLY SPRINGS STANDARD SPECIFICATIONS AND DETAILS.
  - BOUNDARY INFORMATION IS BASED ON SURVEY BY PORT CITY GEOMATICS, LTD.
  - TOPO INFORMATION BASED ON GIS LIDAR DATA.
  - THERE ARE NO RIPARIAN BUFFERS ONSITE.
  - ALL ADJOINER ZONING INFORMATION IS TOWN OF HOLLY SPRINGS ZONING UNLESS NOTED OTHERWISE.
  - ALL INTERSECTION SIGHT TRIANGLES AND LOCATED WITHIN STREET ROW'S OR SHOWN OTHERWISE.
  - LANDSCAPE BUFFER AREAS SHALL BE MAINTAINED BY HOMEOWNERS ASSOCIATION.
  - THE RESTRICTIVE COVENANTS FOR THE SUBDIVISION SHALL BE RECORDED AT WAKE COUNTY REGISTER OF DEEDS PRIOR TO THE RECORDATION OF ANY LOTS.
  - ALL STREETS SHALL BE PUBLIC.
  - CONSTRUCTION DRAWING APPROVAL IS REQUIRED BEFORE CONSTRUCTION CAN BEGIN. ALL APPLICABLE FEES SHALL ALSO BE PAID PRIOR TO CONSTRUCTION DRAWING APPROVAL ON A PHASE BY PHASE BASIS.
  - THE DEVELOPER IS SOLELY RESPONSIBLE FOR THE COST & COORDINATION WITH CP&L OF THE RELOCATION OR REMOVAL OF ANY ONSITE OVERHEAD POWER POLES AND LINES.
  - THERE IS NO FEMA FLOOD HAZARD AREA ON THIS PARCEL PER FIRM PANEL NUMBER 3720065800J, DATED MAY 2 2006.
  - TREE PROTECTION FENCING SHALL BE PROVIDED ALONG ALL VEGETATED PERIMETER

- ALL ONSITE POWER LINES WILL BE PROVIDED UNDERGROUND TO CP&L STANDARDS.
- PARKS AND RECREATION FEE WILL BE FINALIZED PRIOR TO LOT RECORDING.
- FEE-IN-LIEU OF PUMP STATION UPGRADE WILL BE REQUIRED FOR THIS PROJECT.
- STREET LIGHTING SHALL BE REQUIRED FOR THIS PROJECT AND BE DESIGNED AND CONSTRUCTED WITHIN ACCORDANCE TO HOLLY SPRINGS AND PROGRESS ENERGY POLICIES AND STANDARDS. TOWN OF HOLLY SPRINGS REQUIRES THAT ADJACENT ROADWAYS BE LIGHTED PRIOR TO FIRST C.O.
- ALL RETAINING WALLS SHALL REQUIRE A BUILDING PERMIT. WALLS GREATER THAN 4' IN HEIGHT WILL REQUIRE ENGINEERING DESIGN APPROVAL AT CONSTRUCTION DRAWING REVIEW AS WELL AS A BUILDING PERMIT. NO UTILITIES SHALL CONFLICT WITH STRUCTURAL REINFORCEMENT OF THE WALL.
- SEPARATE PLANS DETAILING THE STRIPING AND SIGNAGE FOR THE BASS LAKE ROAD WIDENING SHALL BE COMPLETED WITH CONSTRUCTION DRAWING PLAN SET.
- FEE-IN-LIEU OF LAND DEDICATION WILL BE REQUIRED BASED ON CURRENT RATE THAT THE TIME OF LOT RECORDATION.
- PAVEMENT DESIGN WILL REQUIRE NCDOT APPROVAL. THE MOST RESTRICTIVE CROSS SECTION BETWEEN THE MINIMUM DESIGN, CALCULATED PAVEMENT DESIGN, TRIASSIC DESIGN, AND NCDOT DESIGN WILL APPLY.
- A GREENWAY CONNECTION WILL BE PROVIDED USING THE FUTURE SANITARY SEWER EASEMENT TO SUGG/TOWN PROPERTY.
- CONSTRUCTION TRAFFIC SHALL NOT ENTER THE SITE VIA MILLS LAKE WYND.



- NOTES:**
- PAVEMENT DESIGN SHALL BE COMPLETED PRIOR TO PLACEMENT OF STONE BASE FOR ALL ROADWAYS IF TRASSIC MATERIALS ARE ENCOUNTERED.
  - INITIAL LIFT MAY BE 1-1/4\"/>



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1	REV. PER TOHS COMMENTS 1ST REVIEW	01/28/13	NJA
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3	REMOVED ONE LOT PER CLIENT REQUEST	03/08/13	NJA

Designer	W&R	Scale	AS NOTED
Drawn By	NJA	Date	12/31/12
Checked By	W&R	Job No.	2120467

**LOGAN'S MANOR**

**SITE PLAN**

Holly Springs      Wake County      North Carolina

**PRELIMINARY**  
NOT APPROVED FOR CONSTRUCTION

**WITHERS & RAVENEL**  
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Sheet No. **1**

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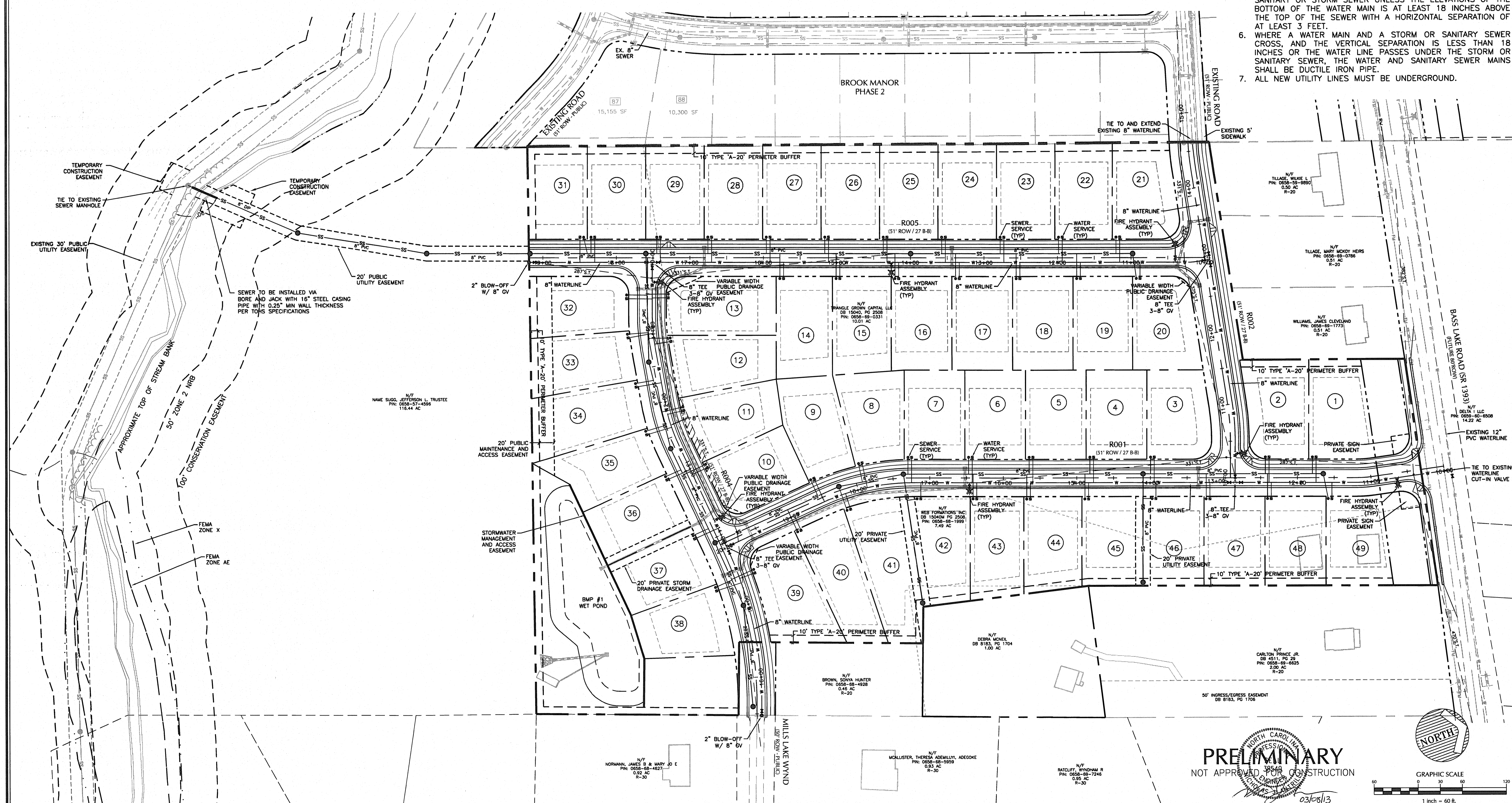


**GENERAL NOTES:**

1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE TOWN OF HOLLY SPRINGS STANDARD SPECIFICATIONS AND DETAILS.
2. BOUNDARY INFORMATION IS BASED ON SURVEY BY PORT CITY GEOMATICS, LTD.
3. TOPO INFORMATION BASED ON GIS LIDAR DATA.

**UTILITY NOTES:**

1. UTILITY AND PIPELINE EASEMENTS SHALL BE RECORDED AFTER CONSTRUCTION IS COMPLETED AS PART OF THE RIGHT-OF-WAY PLAN.
2. ALL STORM DRAINAGE AND SANITARY SEWER LINES SHALL HAVE 20' EASEMENTS CENTERED ON THE LINES UNLESS LOCATED COMPLETELY IN ROAD R/W.
3. ALL MANHOLE LOCATED OUTSIDE OF PAVED AREAS SHALL HAVE A RIM ELEVATION OF ONE FOOT ABOVE FINISHED GRADE. MANHOLES ADJACENT TO 100 YR FLOOD PLAIN SHALL BE ELEVATED 2' ABOVE THE 100 YEAR FLOOD ELEVATION.
4. WATER LINE SHALL BE 2' MINIMUM OFF EDGE OF CURB UNLESS SHOWN OTHERWISE.
5. WATER MAINS SHALL BE LAID AT LEAST 10 FEET Laterally MEASURED EDGE TO EDGE FROM EXISTING OR PROPOSED SANITARY OR STORM SEWER UNLESS THE ELEVATIONS OF THE BOTTOM OF THE WATER MAIN IS AT LEAST 18 INCHES ABOVE THE TOP OF THE SEWER WITH A HORIZONTAL SEPARATION OF AT LEAST 3 FEET.
6. WHERE A WATER MAIN AND A STORM OR SANITARY SEWER CROSS, AND THE VERTICAL SEPARATION IS LESS THAN 18 INCHES OR THE WATER LINE PASSES UNDER THE STORM OR SANITARY SEWER, THE WATER AND SANITARY SEWER MAINS SHALL BE DUCTILE IRON PIPE.
7. ALL NEW UTILITY LINES MUST BE UNDERGROUND.



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Designer	W&R	Scale	AS NOTED
Drawn By	NJA	Date	12/31/12
Checked By	W&R	Job No.	2120467

**LOGAN'S MANOR**  
 Holly Springs  
 Wake County  
 North Carolina

**UTILITY PLAN**

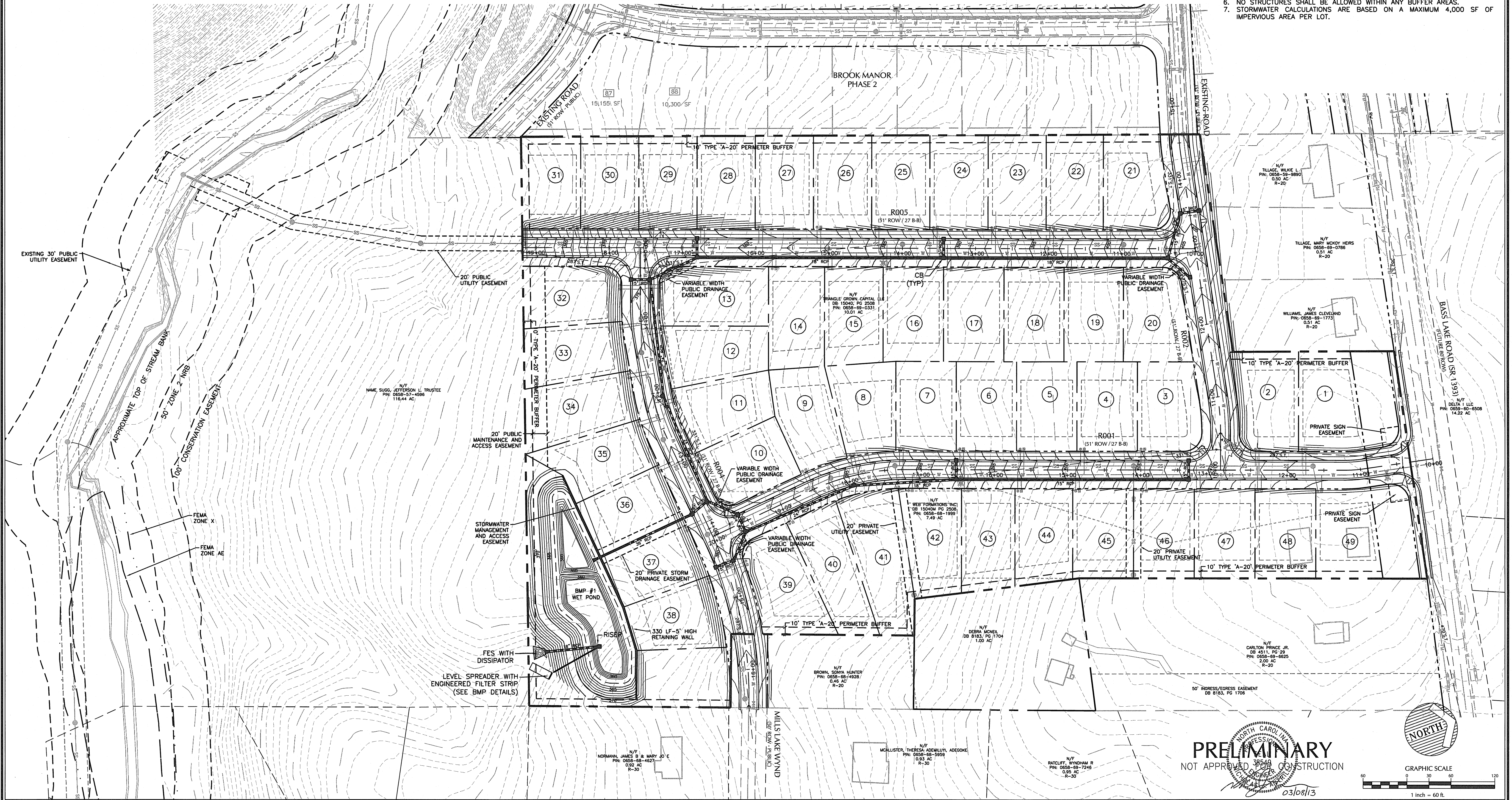
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- GENERAL NOTES:**
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  3. TOPO INFORMATION BASED ON GIS LIDAR DATA.

- GRADING AND DRAINAGE NOTES:**
1. A TREE PROTECTION FENCING SHALL BE PROVIDED ALONG ALL VEGETATED RIPARIAN AND VEGETATED PERIMETER BUFFER AREAS.
  2. 20' STORM DRAINAGE EASEMENTS SHALL BE CENTERED ON ALL STORM PIPE LOCATED OUTSIDE OF STREET RIGHT OF WAYS.
  3. STORM DRAINAGE PIPE SIZES & LOCATIONS ARE PRELIMINARY AND SHALL BE FINALIZED DURING CONSTRUCTION DRAWING REVIEW & APPROVAL.
  4. ZONE 1 OF THE NEUSE RIVER BUFFER SHALL BE UNDISTURBED.
  5. NO FILL MATERIAL IS TO BE BROUGHT INTO NRB ZONE 1.
  6. NO STRUCTURES SHALL BE ALLOWED WITHIN ANY BUFFER AREAS.
  7. STORMWATER CALCULATIONS ARE BASED ON A MAXIMUM 4,000 SF OF IMPERVIOUS AREA PER LOT.



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Designer	W&R	Scale	AS NOTED
Drawn By	NJA	Date	12/31/12
Checked By	W&R	Job No.	2120467

**LOGAN'S MANOR**  
Holly Springs Wake County North Carolina

**GRADING PLAN**

**PRELIMINARY**  
NOT APPROVED FOR CONSTRUCTION

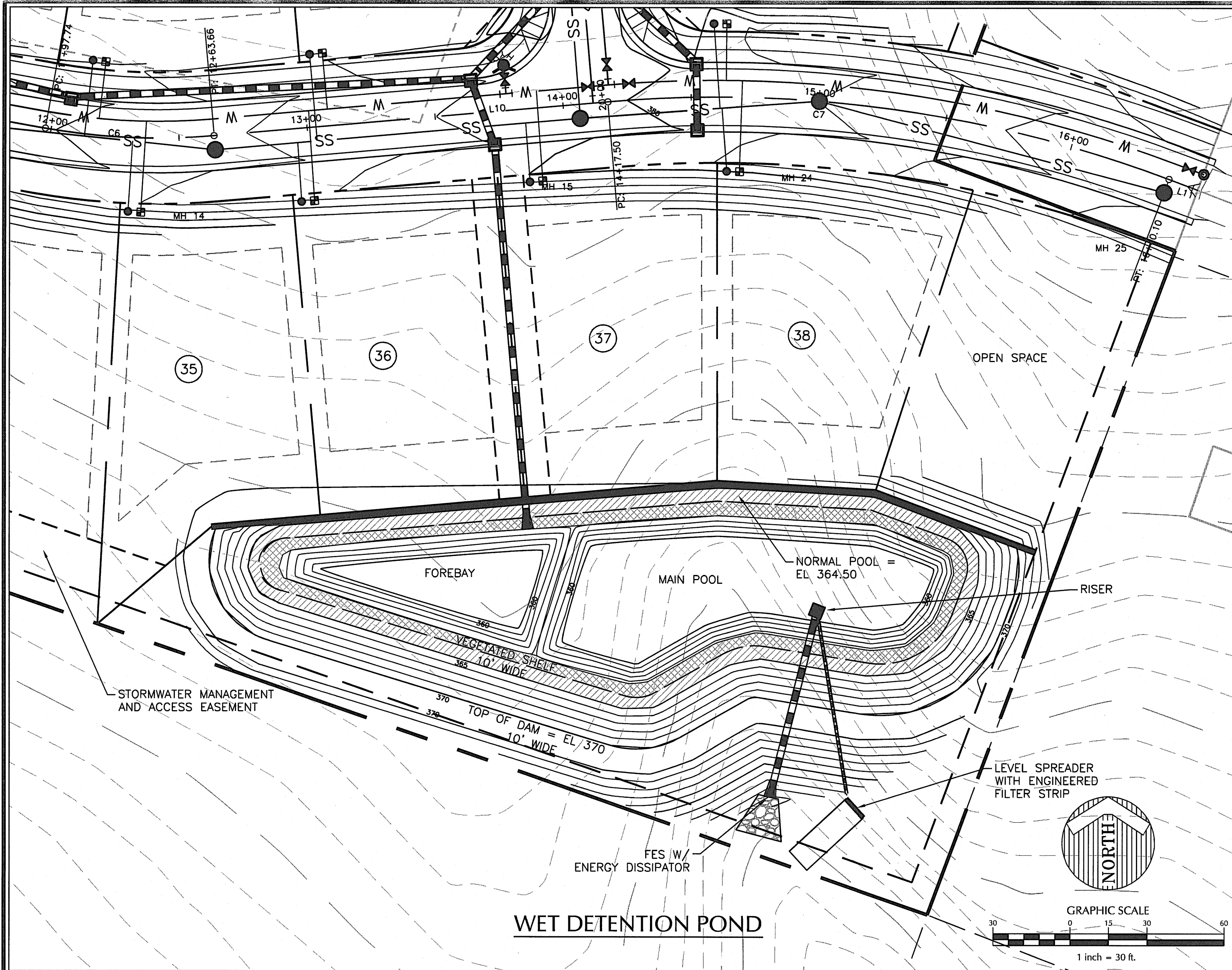
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Sheet No. **3**

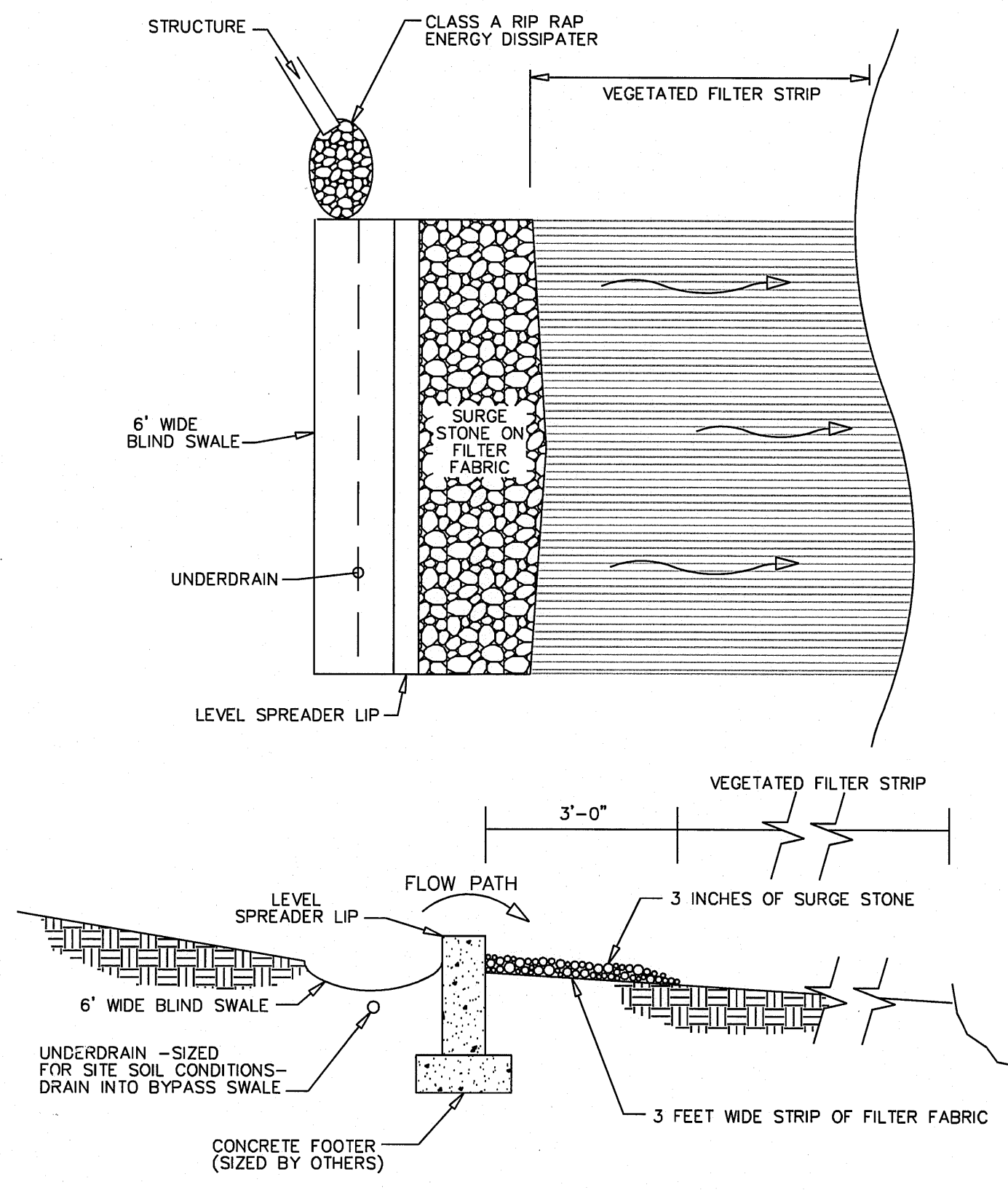
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**WET DETENTION POND**

NOTE - SEE PLANTING SCHEDULE ON THIS SHEET FOR VEGETATIVE SHELF PLANTING PLAN.



**LEVEL SPREADER DETAIL**

**VEGETATED FILTER STRIP PLANTING SPECIFICATIONS**

THE VEGETATED FILTER STRIP SHALL BE CLEARED, AND COVERED WITH A MINIMUM OF 6" TOPSOIL. MIX 1-2 CUBIC YARDS OF PEAT MOSS OR COMPOST PER 1,000 SF INTO THE TOPSOIL. IN ADDITION, A ONE-TIME START-UP FERTILIZATION SHOULD BE ADDED, PER THE TABLE BELOW:

**GRASS OTHER THAN CENTIPEDE:**  
 - 75 LBS OF GROUND LIMESTONE PER 1,000 SF  
 - A STARTER TYPE FERTILIZER, HIGH IN PHOSPHORUS, BASED ON THE TYPE OF GRASS AND PLANTING METHOD.

**CENTIPEDE:**  
 - 1/2 LB OF NITROGEN PER 1,000 SF

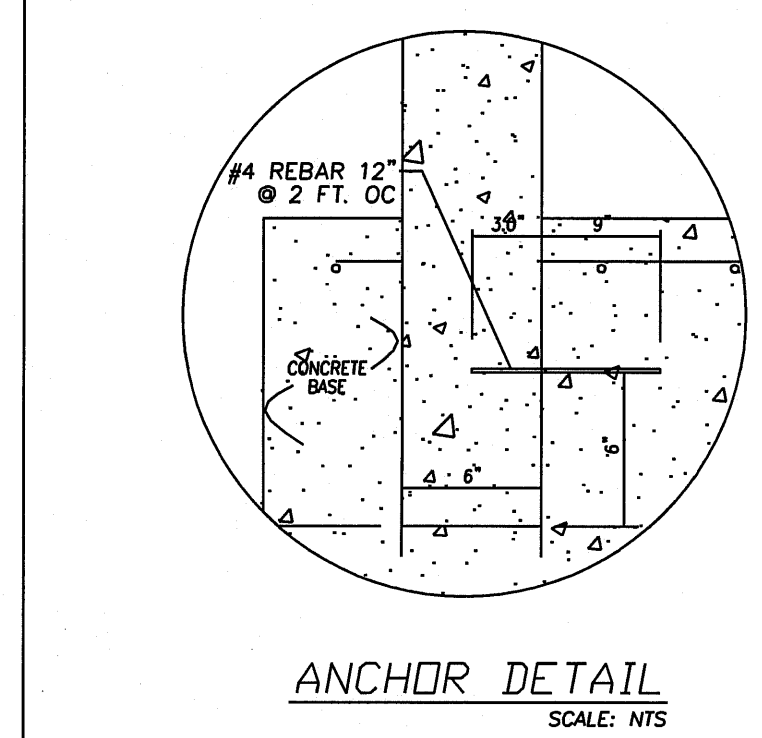
**GRASS TYPE:**  
 - GRASS TYPE SHALL BE TALL FESCUE OR COMMON BERMOUDA. GRASS SHALL BE SOD, GROWN IN NON-CLAYEY SOIL.  
 - WATER SOD FREQUENTLY FOR THE FIRST THREE WEEKS AFTER INSTALLATION, SO THAT THE FIRST 1.5" OF SOIL IS KEPT MOIST.

**VEGETATED FILTER STRIP (VFS)**

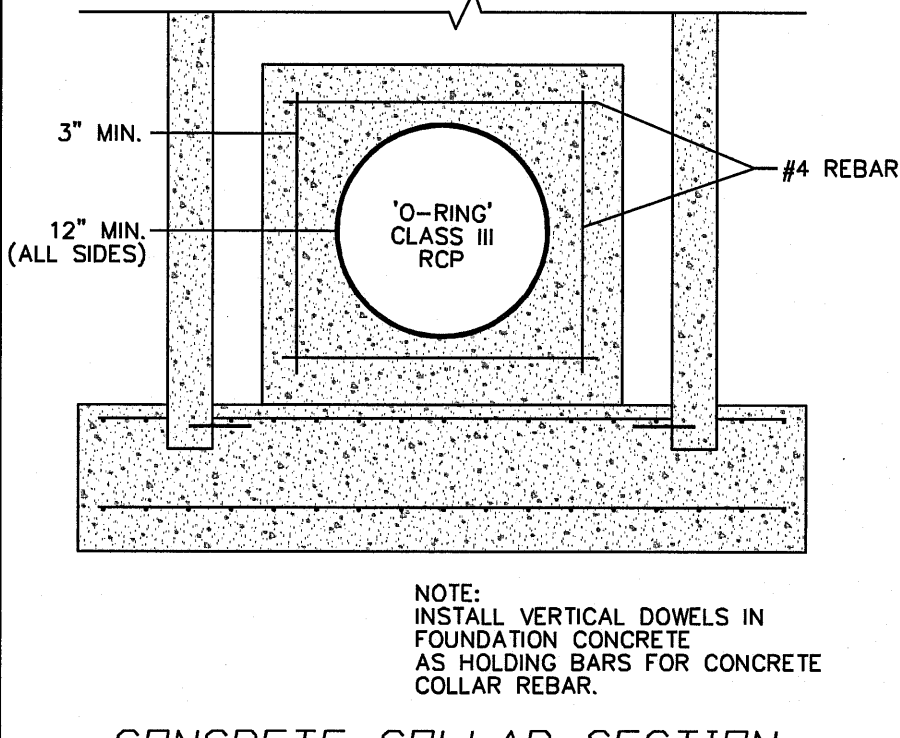
WIDTH OF VFS: 30- FEET  
 ELEVATION AT DOWNSLOPE OF LEVEL LIP: 361.50  
 ELEVATION AT THE END OF THE VFS: 359.50  
 SLOPE: 6.7%

**LEVEL SPREADER CALCULATIONS**

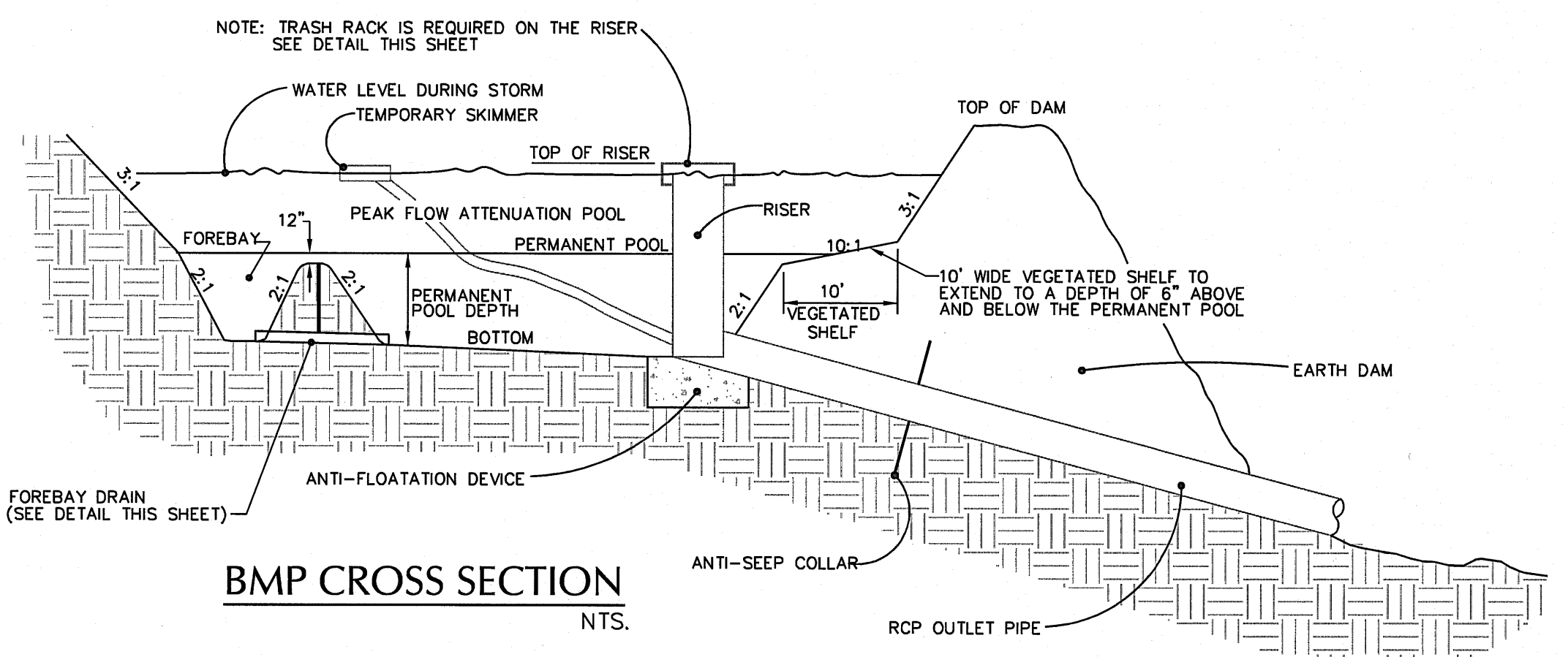
PEAK DISCHARGE (1" STORM): 0.12 CFS  
 FEET OF LEVEL LIP REQUIRED PER CFS: 10 FT/CFS  
 CALCULATED MIN. LENGTH OF LEVEL LIP: 1.2 FEET \*  
 \* USE MIN. 10-FOOT LEVEL SPREADER LENGTH.



**ANCHOR DETAIL**



**CONCRETE COLLAR SECTION**



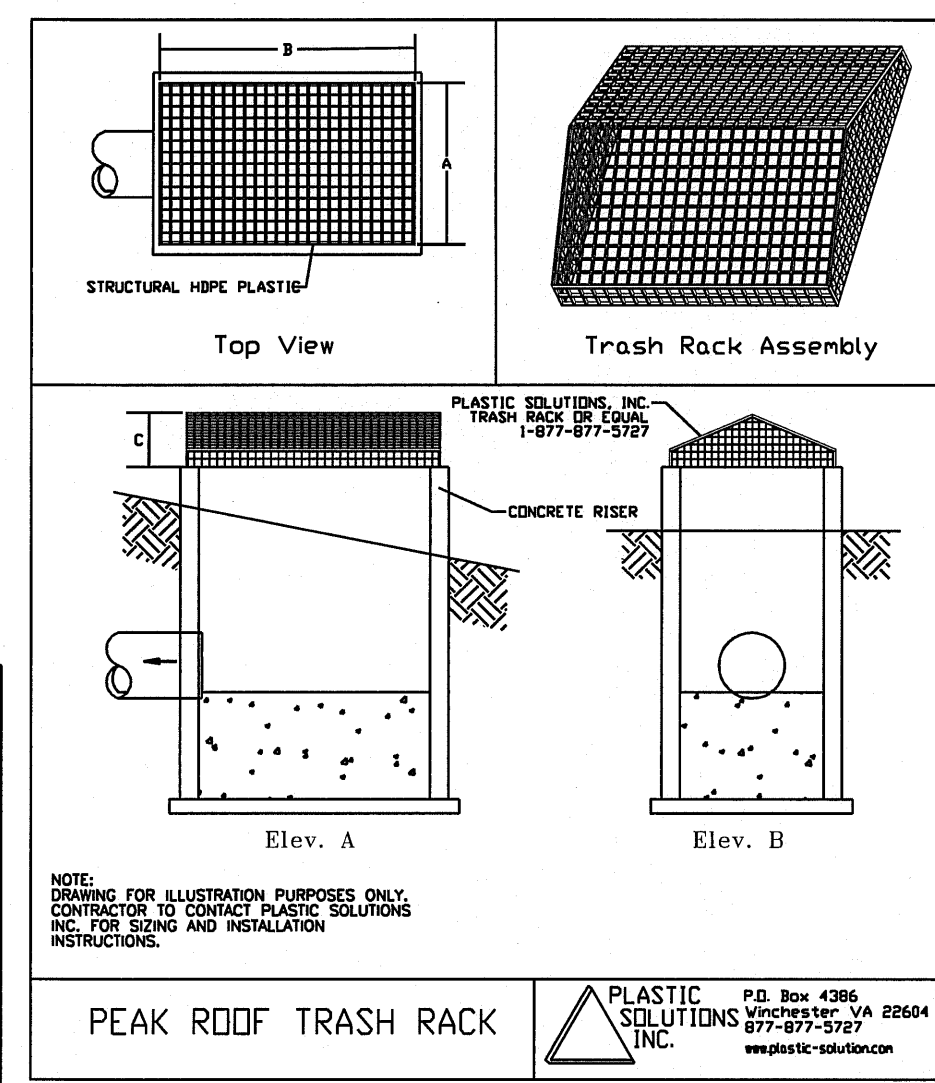
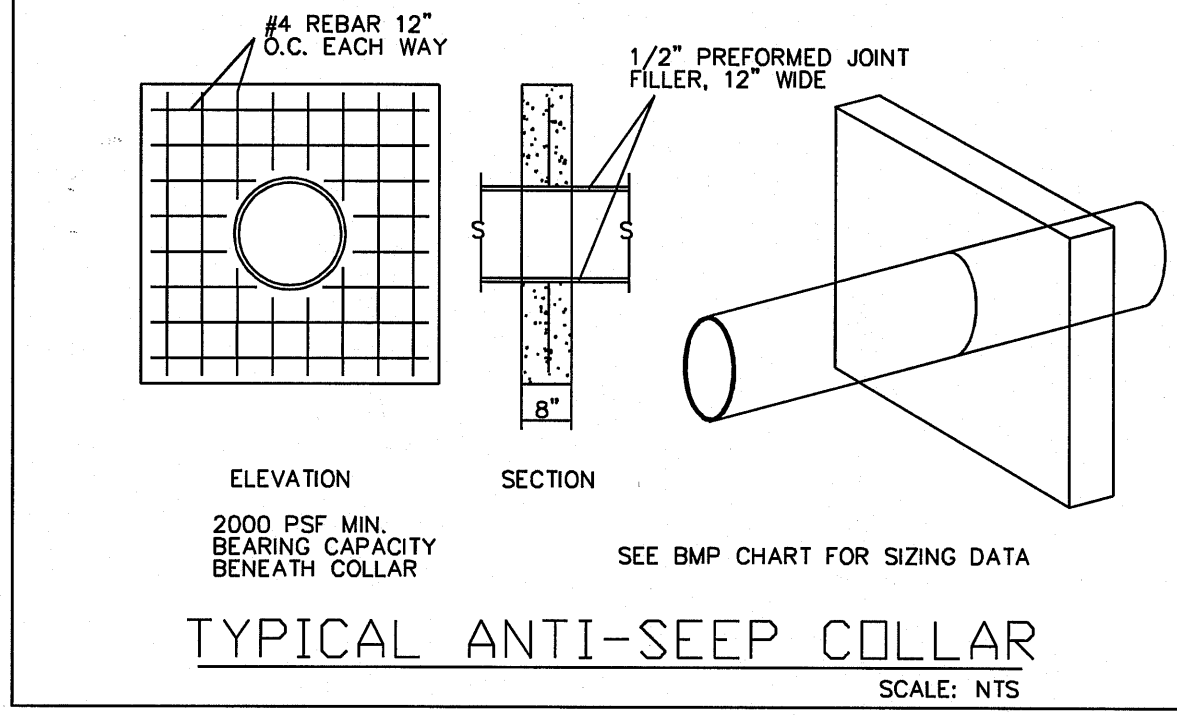
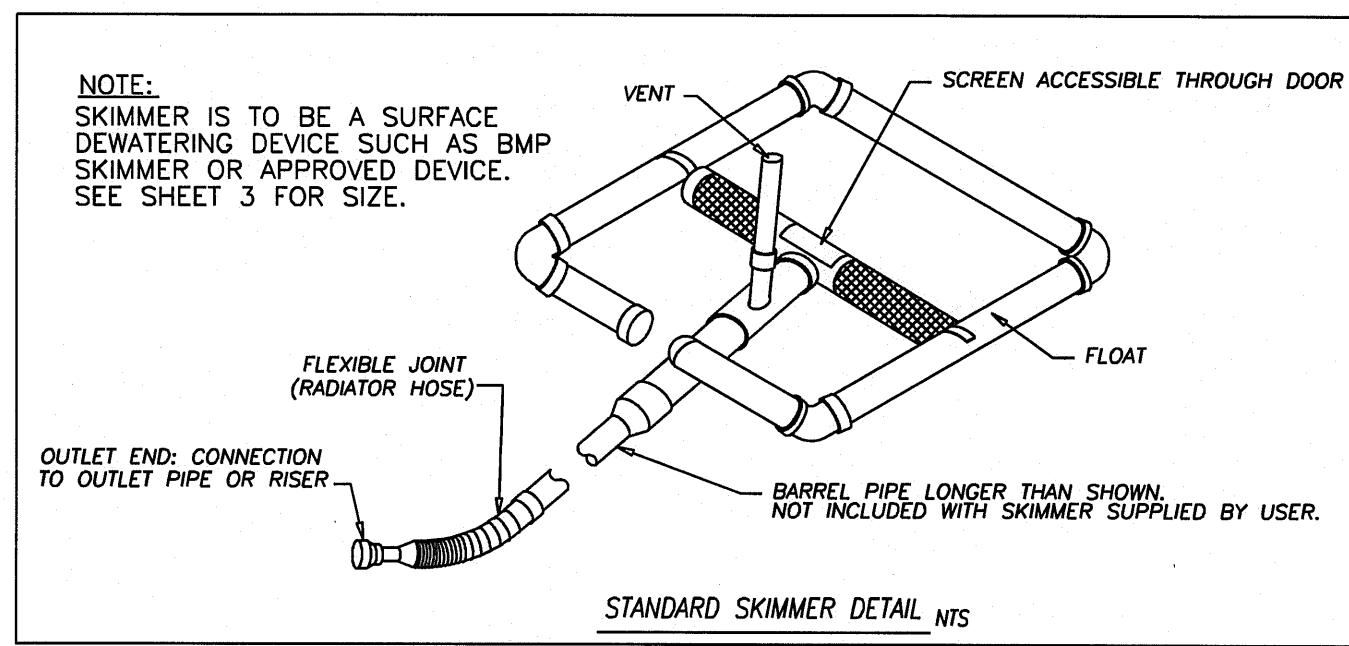
**BMP CROSS SECTION**

**PLANTING REQUIREMENTS**

SHALLOW WATER (NORMAL POOL TO 6" BELOW) = 2,766 SF = 50 HERB. PLANTS / 200 SF = 692 PLANTS					
PLANT TYPE	QTY	BOTANICAL NAME	COMMON NAME	ROOT CALIPER	NOTES
HERBACEOUS	106	Acorus calamus	Sweet Flag	CONT. 1 Gal.	24" O.C.
	18	Acorus calamus 'Variegata'	Variegated Sweet Flag	CONT. 1 Gal.	24" O.C.
	20	Peltandra virginica	Arrow arum	CONT. 1 Gal.	24" O.C.
	204	Pontederia cordata	Pickerelweed	CONT. 4" Pot	24" O.C.
	34	Sagittaria latifolia	Broadleaf Arrowhead	CONT. 1 Gal.	24" O.C.
	204	Saururus cernuus	Lizard's tail	CONT. 4" Pot	24" O.C.
106	Schoenoplectus tabernaemontani	Softstem Bulrush	CONT. 4" Pot	24" O.C.	
SHALLOW LAND (NORMAL POOL TO 6" ABOVE) = 3,135 SF = 50 HERB. PLANTS / 200 SF = 784 PLANTS					
PLANT TYPE	QTY	BOTANICAL NAME	COMMON NAME	ROOT CALIPER	NOTES
HERBACEOUS	77	Carex stricta	Tussock Sedge	CONT. 4" Pot	24" O.C.
	77	Iris versicolor	Northern Blue Flag Iris	CONT. 4" Pot	24" O.C.
	197	Iris virginica	Southern Blue Flag Iris	CONT. 4" Pot	24" O.C.
	240	Juncus effusus	Soft Rush	CONT. 4" Pot	24" O.C.
	177	Lobelia cardinalis	Cardinal Flower	CONT. 4" Pot	24" O.C.
	16	Scirpus cyperinus	Woolgrass	CONT. 1 Gal.	24" O.C.

**BMP DETAILS**

	DIMENSIONS	ELEV.
NORMAL POOL	14,503 SF	364.5
POND BOTTOM		360.0
TOP OF BERM	10 FT.	370.0
100-YR WATER SURFACE ELEVATION		369.22
WATER QUALITY ORIFICE	2.5"	364.5
RISER CREST ELEVATION	4'x4' ID RCP BOX	366.0
OUTLET PIPE INVERT UP	72 LF 18" RCP	361.0
OUTLET PIPE INVERT DOWN	Ø 1.4%	360.0



- NOTES:**
- THE CLAY LINER FOR THE WET DETENTION BASIN SHALL BE AT LEAST 12" THICK AND MEET THE FOLLOWING SPECIFICATIONS:
    - UNIFIED SOIL CLASSIFICATION SYSTEM DESIGNATION OF CL, CH, ML, SC
    - MINIMUM OF 40% PASSING #200 SIEVE
    - MINIMUM PLASTICITY INDEX OF 12
    - MAXIMUM PERMEABILITY OF 0.01 IN/HR
    - A MINIMUM OF 2 TESTS OF EACH ABOVE PARAMETER SHALL BE COMPLETED BY THE CONTRACTOR ON THE LINER MATERIAL AND PRESENTED TO THE ENGINEER FOR APPROVAL
    - COMPACTION TO A MINIMUM OF 93% PER ASTM D698, AND WITHIN 3% OF THE OPTIMUM MOISTURE CONTENT (1 COMPACTION DENSITY TEST PER 2500 SQ. FT.)
  - CUT AND FILL SLOPE 2H:1V OR GREATER SHALL BE STABILIZED WITH PERMANENT SLOPE RETENTION DEVICES OR A SUITABLE COMBINATION OF PLANTINGS AND RETENTION DEVICES. SLOPES GREATER THAN 3H:1V SHALL NOT BE STABILIZED WITH TURF GRASS BUT SHALL BE STABILIZED WITH VEGETATION THAT REQUIRES MINIMAL MAINTENANCE: WEEPING LOVE GRASS, RED FESCUE, OR OTHER APPROVED VARIETY.
  - GRADING PERMIT SHALL NOT BE ISSUED UNTIL THE TOWN OF HOLLY SPRINGS HAS RECEIVED NOTIFICATION THAT RECEIPT OF NITROGEN PAYMENT HAS BEEN ISSUED TO THE DEVELOPER.
  - PROJECT SHALL MEET ALL REQUIREMENTS RELATIVE TO BEST MANAGEMENT PRACTICES AND ENGINEERED STORMWATER CONTROL STRUCTURES AS OUTLINED IN THE NCDOT BMP MANUAL, CURRENT EDITION.
  - AT THE CONCLUSION OF THE PROJECT ALL BMP'S INSTALLED ON-SITE MUST BE CERTIFIED BY A DESIGN PROFESSIONAL AND THE TOWN OF HOLLY SPRINGS ENGINEERING DEPARTMENT MUST RECEIVE ALL AS BUILT DRAWINGS PRIOR TO RECEIVING THE CERTIFICATE OF OCCUPANCY.
  - FOR OUTLET DISSIPATOR DESIGN, SEE EROSION CONTROL PLAN

**PRELIMINARY**  
 NOT APPROVED FOR CONSTRUCTION  
 03/08/13

ALL CONSTRUCTION SHALL BE DONE IN ACCORDANCE WITH ALL TOWN OF HOLLY SPRINGS AND NCDOT STANDARDS AND SPECIFICATIONS.

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1	REV. PER TOHS COMMENTS 1ST REVIEW	01/28/13	NJA
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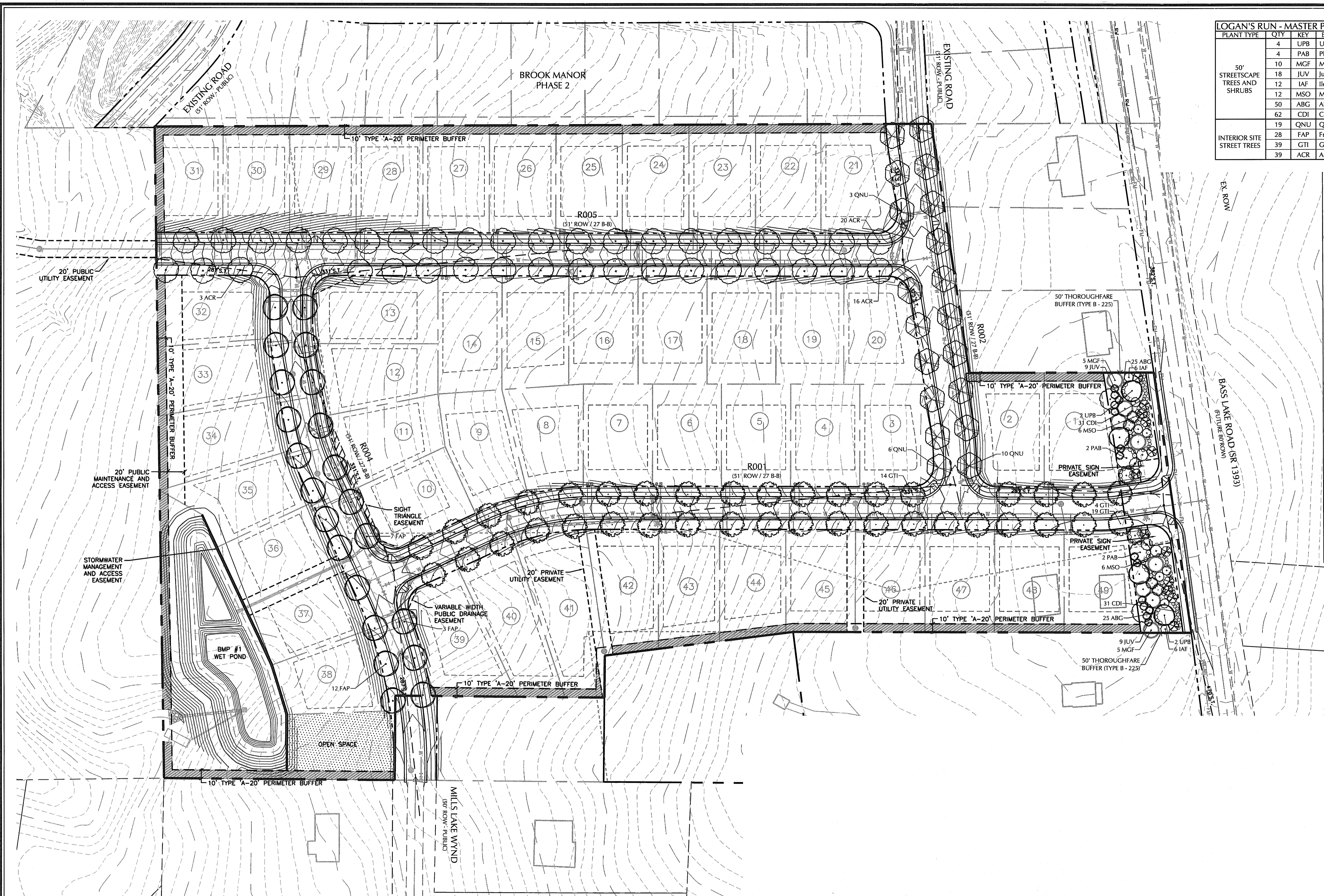
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Drawn By	NJA	Date	12/31/12
Checked By	W&R	Job No.	2120467

**LOGAN'S MANOR**  
 Holly Springs Wake County North Carolina

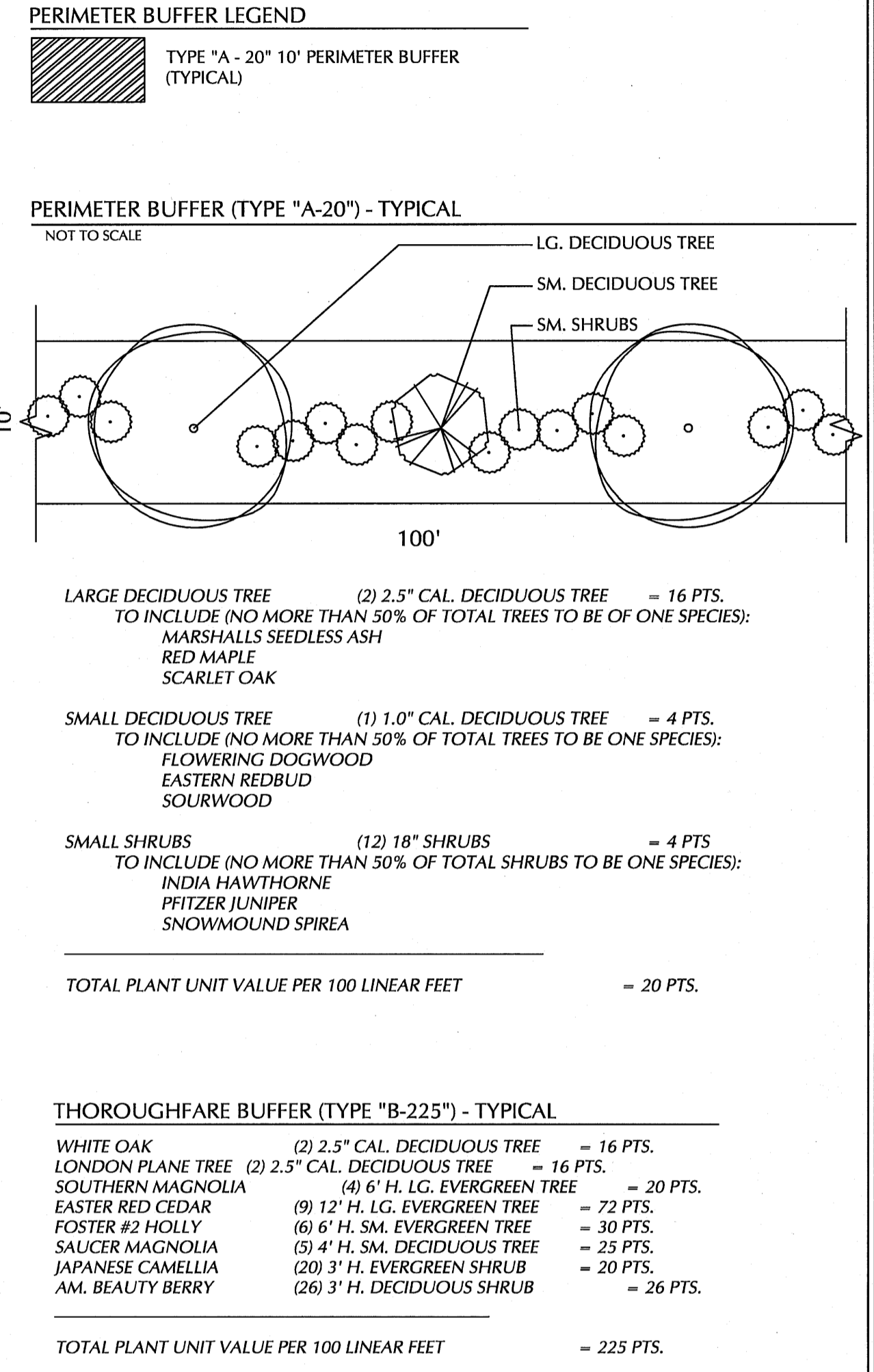
**BMP 1 STORMWATER MANAGEMENT PLAN**

**WITHERS & RAVENEL**  
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PLANT TYPE	QTY	KEY	BOTANICAL NAME	COMMON NAME	ROOT	CALIPER	HEIGHT	NOTES
50' STREETScape TREES AND SHRUBS	4	UPB	Ulmus parvifolia 'UPMT'	Bosque Lacebark Elm	B&B	2 1/2"	12'-14'	MATCHED SPECIMENS
	4	PAB	Platanus x acerifolia 'Bloodgood'	London Plane Tree	B&B	2 1/2"	12'-14'	MATCHED SPECIMENS
	10	MGF	Magnolia grandiflora	Southern Magnolia	B&B	2"	8'-10'	MATCHED SPECIMENS
	18	JUV	Juniperus virginiana	Eastern Red Cedar	B&B	2"	8'-10'	MATCHED SPECIMENS
	12	IAF	Ilex x attenuata 'Foster #2'	Foster Holly	B&B	2"	8'-10'	MATCHED SPECIMENS
	12	MSO	Magnolia x soulangiana	Saucer Magnolia	B&B	2"	8'-10'	MATCHED SPECIMENS
	50	ABG	Abelia x grandiflora	Glossy Abelia	CONT.	3 Gal.	18"-24"	MATCHED SPECIMENS
	62	CDI	Calliandra dichotoma 'Issai'	Purple Beautyberry	CONT.	3 Gal.	18"-24"	48" O.C.
	19	QNU	Quercus nuttallii	Nuttall Oak	B&B	2 1/2"	12'-14'	MATCHED SPECIMENS
	28	FAP	Fraxinus pennsylvanica 'Autumn Purple'	Autumn Purple Ash	B&B	2 1/2"	12'-14'	MATCHED SPECIMENS
INTERIOR SITE STREET TREES	39	GTI	Gleditsia triacanthos inermis 'Shademaster'	Thornless Honey Locust	B&B	2 1/2"	12'-14'	MATCHED SPECIMENS
	39	ACR	Acer rubrum 'October Glory'	October Glory Maple (STD)	B&B	2 1/2"	12'-14'	MATCHED SPECIMENS



- LANDSCAPE NOTES:**
- DEVELOPER SHALL PRESERVE EXISTING VEGETATION TO THE FULLEST EXTENT POSSIBLE. WHERE EXISTING VEGETATION IN BUFFER AREAS MEETS OR EXCEEDS STANDARDS FOR TYPE "A-20" OR "B-225" BUFFERS, NO ADDITIONAL PLANTINGS BY THE DEVELOPER SHALL BE REQUIRED. IN AREAS WHERE EXISTING VEGETATION IS INADEQUATE TO MEET BUFFER REQUIREMENTS, SUPPLEMENTAL PLANTINGS WILL BE INSTALLED PER TYPICAL BUFFER PLANTING DETAILS PRIOR TO C.O. FOR THE SPECIFIC SINGLE FAMILY LOT PRIOR TO FINAL PLAT FOR ALL OTHER LOTS/TRACTS/PARCELS.
  - FENCES SHALL BE ALLOWED TO BE CONSTRUCTED WITHIN PERIMETER BUFFERS FOR ONLY CERTAIN CASES SUCH AS BEING A DECORATIVE ELEMENT OF AN ENTRANCE FEATURE OR RECREATION SITE.
  - PLANTING IN PROGRESS EASEMENTS SHALL BE LIMITED TO SHRUBS AND SMALL TREES. PLANTS SHALL BE PLACED ON THE EDGES OF EASEMENTS (WHERE POSSIBLE) AND SHALL NOT IMPEDE VEHICULAR ACCESS TO EASEMENTS. SEE EASEMENT PLANTING DETAIL FOR MORE INFORMATION.
  - NO PLANTING SHALL OCCUR IN EXISTING WETLAND AREA.
  - THE MAINTENANCE OF ALL REQUIRED LANDSCAPING SHALL BE THE RESPONSIBILITY OF THE OWNER BY KEEPING LAWNS MOWED, ALL PLANTS MAINTAINED AS DISEASE-FREE, ALL PLANTING BEDS GROOMED AND KEPT WEED FREE EXCEPT IN AREAS OF PRESERVED EXISTING NATURAL VEGETATION (i.e., THICKETS), AND KEPT FREE FROM TRASH, DEBRIS AND OTHER OBJECTIONABLE MATERIALS. INDIVIDUAL HOMEOWNERS WILL BE RESPONSIBLE FOR MAINTAINING PERIMETER BUFFER AREAS WITHIN THEIR LOT. THE H.O.A. WILL BE RESPONSIBLE FOR MAINTAINING COMMON OPEN SPACE THAT IS NOT OWNED BY THE TOWN.
  - IN THE CASE OF REPLACEMENT OF ANY REQUIRED PLANTING, WHICH IS REMOVED OR DIES AFTER THE DATE OF PLANTING, SUCH REPLACEMENT SHALL OCCUR DURING THE NEXT PLANTING SEASON. IN THE CASE OF THE REPLACEMENT OF ANY TREE IN A TREE SAVE AREA WHICH IS REMOVED OR DIES AFTER THE DATE OF APPROVAL OF A PRESERVATION LANDSCAPE PLAN, SUCH REPLACEMENT SHALL OCCUR DURING THE NEXT PLANTING SEASON.
  - TREES SHALL BE SPACED 45" O.C. (TYP). SOME SPECIFIC DRIVEWAY LOCATIONS MAY PREVENT THIS FROM OCCURRING IN A LIMITED NUMBER OF SITUATIONS. TREES SHALL HAVE A MINIMUM 2.5" CALIPER AND 12' HEIGHT AT THE TIME OF INSTALLATION.
  - BRANCHES OF TREES EXISTING AND PROPOSED INSIDE OF THE RIGHT OF WAY SHALL BE MAINTAINED TO NOT IMPACT SAFE MOVEMENT OF TRAFFIC BY PRUNING LOWER LIMBS TO A MINIMUM OF 6' OFF THE GROUND.

**PRELIMINARY**  
NOT APPROVED FOR CONSTRUCTION

03.08.13

NORTH

GRAPHIC SCALE  
1 inch = 60 ft.

No.	Revision	Date	By	Designer	Scale
1	REV. PER TOHS COMMENTS 1ST REVIEW	01/28/13	NJA	W&R	AS NOTED
2	REV. PER TOHS COMMENTS 2ND REVIEW	02/11/13	NJA	NJA	12/31/12
3	REMOVED ONE LOT PER CLIENT REQUEST	03/08/13	NJA	W&R	2120467

**LOGAN'S MANOR**

**LANDSCAPE PLAN**

Holly Springs Wake County North Carolina

**WITHERS & RAVENEL**

ENGINEERS | PLANNERS | SURVEYORS

111 MacKenran Drive Cary, North Carolina 27511 tel: 919-469-3340 www.wITHERSRAVENEL.com License No. C0832

Sheet No. **5**

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